

SITE CONDITION: FAIR

Block 1998 Lot 13



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LOCATION, USE, ZONING, AND OWNERSHIP

Lot 13 is located at 635 West 131st Street between Twelfth Avenue and Broadway. The 7,494-sf lot contains a two-story 16,000-gsf building used as a public parking garage (see photo A). According to the Department of Finance RPAD Master File, the building was constructed in 1940 and altered in 2002. Earth Tech reviewed the NYC Department of Finance Automated City Register Information System (ACRIS) and found that The Trustees of Columbia University acquired the property from 635 West 131st Street LLC on July 10, 2007. At the time of the AKRF report, Lot 13 was zoned M1-2; however it has since been designated

C6-1 as part of the Special Manhattanville Mixed Use District (MMU) rezoning (effective December 19, 2007).

PHYSICAL AND STRUCTURAL CONCERNS

As evaluated by Thornton Tomasetti, and later reported by AKRF, the building is in fair condition due to local and isolated structural distress, moderate damage due to water infiltration and substandard exterior and interior, and site conditions.

At the time this site was inspected by Earth Tech on April 4, 2008, no interim or permanent repairs to correct or mitigate the reported instances of structural damage, distress or stability were found where inspection was possible. The deficiencies and structural damage observed by Earth Tech are generally consistent with the findings by Thornton Tomasetti and AKRF.

The entrance area in the parking area on first floor shows wide random cracking with settlement (see photos B and C). The metal deck and concrete encased beams are in fair condition with moderate amount of honeycombing (see photos D and E). The east wall has stepped cracks and a large spall at the bottom (see photos F and G). The underside of the ramp shows extensive paint peel off and several beams at the south end show heavy efflorescences and a wide crack at the bottom (see photos H, I and J). The second floor west wall shows water infiltration all along in the top area (see photos K, L and M). The aluminum channel framing for support of the roof shows significant rotation of a few channels and several cross bracing bars have bent (see photos N and O). The roof

membrane is in fair condition but large pools of water are visible (see photos P and Q). Since the previous inspection there are no significant changes in the physical conditions of the building and Earth Tech concurs with the assessment by Thonton Tomasetti and AKRF as to the fair condition of the building's physical and structural systems.

HEALTH AND SAFETY CONCERNS

AKRF reported several health and safety concerns for this property:

- *“Items stored between a flight of stairs and the door to West 131st Street, are obstructing a means of egress, and pose a tripping hazard”*. Earth Tech concurs with this statement (see photo R).
- *“On the second floor, tightly parked vehicles directly adjacent to the fire exit door would interfere with proper egress from the building”*. Earth Tech concurs with this statement (see photos S and T)

Additionally, Earth Tech noted the following health and safety concerns:

- On the day of the survey, direct access to exit door on the 1st floor was obstructed by stored equipment parts (see photo U). Also, some parts were protruding into the passageway at the height below the clearance required to safely pass under; this is a safety hazard (see photo V).
- The surface of the intermediate landing in the stairwell is not uniform; the elevations of concrete slabs differ by 1.5 in to 3 in; this is a tripping hazard (see photo W). Also, in the flight of the same stair leading to the roof, the last riser is at least 2 in higher than the rest of steps; this is another tripping hazard (see photo X).
- There are signs of water intrusion and efflorescence along the south and east interior masonry walls, as well as peeling paint - a potential health hazard (see photos Y, K, Z and AA).
- There are signs of local vermin infestation (see photos AB and AC).

BUILDING CODE VIOLATIONS

Earth Tech reviewed DOB Building Information System files and confirms the AKRF report findings of two open building code violation for Lot 13. Earth Tech found that one of the violations was subsequently resolved after the release of the AKRF report resulting in a total of one violation for the property to date.

The AKRF report noted that Lot 13 had two open building code violations issued by ECB in 2005. One violation is for failure to post a sign with occupant loads. The other violation, which was subsequently dismissed in August 2007, was for occupancy contrary

to that allowed by the Certificate of Occupancy. No further information is provided in the DOB Building Information System.

UNDERUTILIZATION

There was no Underutilization section write-up completed in the AKRF report for Lot 13 but Appendix A Table A-2 reports the site utilization data. Subsequent to the release of the AKRF report, Lot 13 was rezoned from an M1-2 (FAR 2.0) to C6-1 (FAR 6.0) district (effective December 19, 2007). Earth Tech confirms the AKRF utilization findings under the prior M1-2 designation including lot area (7,494 sf), maximum allowable floor area (14,988 zsf), and a 107 percent site utilization with the existing 16,000-gsf building. Under the former zoning, the site was overbuilt by 1,012 sf.

Under the new C6-1 designation (FAR 6.0), there is now a maximum allowable floor area potential of 44,964 zsf. Therefore, with an existing 16,000-gsf building, Lot 13 utilizes only 36 percent of its development potential under C6-1.

ENVIRONMENTAL ISSUES

The AKRF report indicated that a Phase I investigation was conducted on Lot 13. All hazardous material and environmental contamination issues relevant to the site should have been identified in the FEIS in Appendix F.1: Environmental Issues in Project Area. There was no Subsurface (Phase II) investigation conducted for this site.

Earth Tech reviewed Appendix F.1 and confirms that most environmental issues documented in the FEIS were included in the AKRF report. Environmental issues identified by the Phase I include: present and former use as a garage, gasoline USTs, and a waste oil AST. Additional information noted in the appendix but not in the AKRF report include historical residential uses. Site reconnaissance notes indicated fill caps and vent pipes observed on site.

SUMMARY EVALUATION

AKRF reported the building as in fair condition. Earth Tech's inspection of the building generally concurs with this rating but notes some additional health and safety concerns. Structural concerns include cracks and settlement of the first floor slab, stepped cracks in the east wall, water infiltration on west wall, paint peel off, heavy efflorescences on some beams, and rotation of some aluminum channel roof framing. These conditions were generally present at the prior inspection by Thonton Tomasetti and Earth Tech maintains the site's overall condition rating as fair.



Photograph 1998-13-A



Photograph 1998-13-B



Photograph 1998-13-C



Photograph 1998-13-D



Photograph 1998-13-E



Photograph 1998-13-F



Photograph 1998-13-G



Photograph 1998-13-H



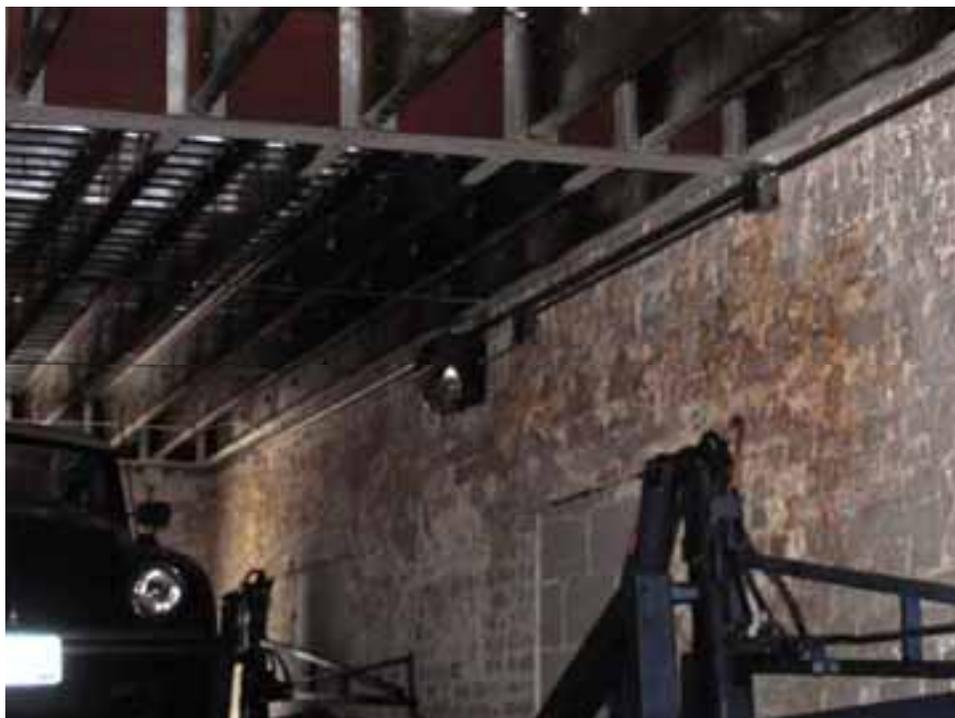
Photograph 1998-13-I



Photograph 1998-13-J



Photograph 1998-13-K



Photograph 1998-13-L



Photograph 1998-13-M



Photograph 1998-13-N



Photograph 1998-13-O



Photograph 1998-13-P



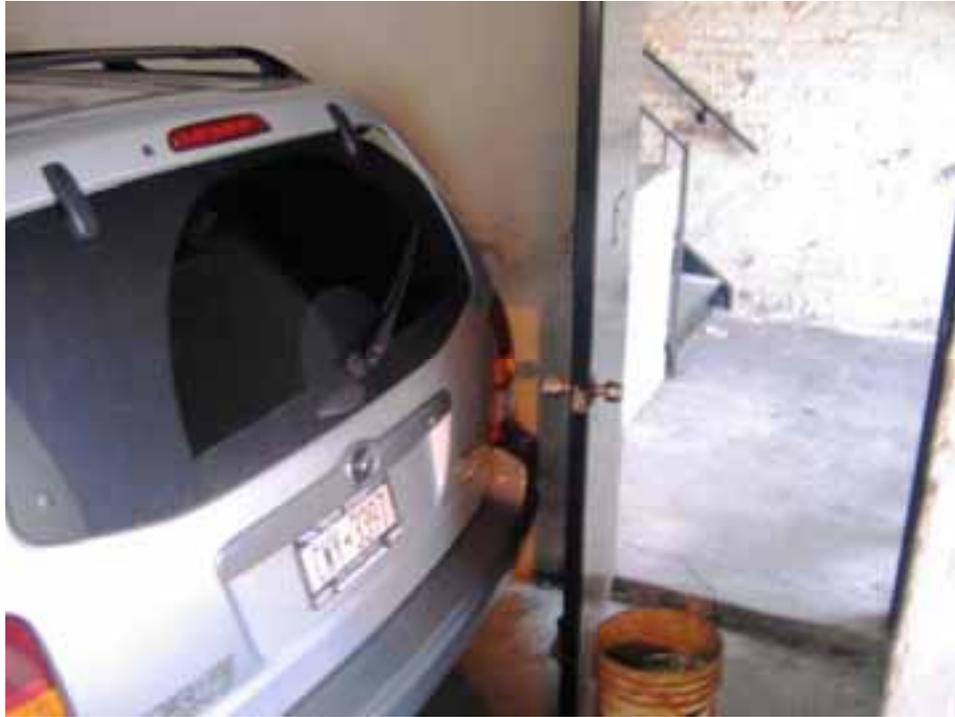
Photograph 1998-13-Q



Photograph 1998-13-R



Photograph 1998-13-S



Photograph 1998-13-T



Photograph 1998-13-U



Photograph 1998-13-V



Photograph 1998-13-W



Photograph 1998-13-X



Photograph 1998-13-Y



Photograph 1998-13-Z



Photograph 1998-13-AA



Photograph 1998-13-AB



Photograph 1998-13-AC

SITE CONDITION: FAIR

Block 1998 Lot 16



Source: MapPluto copyrighted by the New York City Department of City Planning, 2007

LOCATION, USE, ZONING, AND OWNERSHIP

Lot 16 is located at 633 West 131st Street between Twelfth Avenue and Broadway. The 2,498-sf lot contains a one-story 1,000-gsf brick building with a loading dock and driveway (see photo A). According to the Department of Finance RPAD Master File, the building was constructed in 1930 with no subsequent recorded alterations. The building functions as a loading dock for the adjacent Studebaker Building on Lot 17. Earth Tech reviewed the NYC Department of Finance Automated City Register Information System (ACRIS) and found that the property was acquired by the Trustees of Columbia University from 615 West 131st Street

LLC in July 2007. At the time of the AKRF report, Lot 16 was zoned M1-2; however it has since been designated C6-1 as part of the Special Manhattanville Mixed Use District (MMU) rezoning (effective December 19, 2007).

PHYSICAL AND STRUCTURAL CONCERNS

As evaluated by Thornton Tomasetti and later reported by AKRF, the building is in fair condition due to some local distress, inadequate exterior building conditions, and other unsafe site conditions.

At the time this site was inspected by Earth Tech on April 4, 2008, no interim or permanent repairs to correct or mitigate the reported instances of structural damage, distress or instability were found where inspection was possible. The deficiencies and structural damage observed by Earth Tech are consistent with the findings reported by Thornton Tomasetti and AKRF.

There are minor signs of light rust on the roof beams in the entrance area (see photo B). The slab on grade in the open entrance area shows wide cracks and minor settlement (See photo A and C). The CMU wall with a rolling door and the main door exhibits medium to wide cracks and stepped cracks (see photo D and E). Day light is visible through cracks in the wall above the lintel over the entrance door (see photo F). A brick column in the west wall has collision damage with loose bricks at the bottom area (see photo G). The spray-on fireproofing is missing on the roof beams at a few locations (see photo H).

Since the previous inspection there are no significant changes in the physical condition of the building and Earth Tech concurs with the assessment by Thornton Tomasetti and AKRF as to the fair condition of the building's physical and structural systems.

HEALTH AND SAFETY CONCERNS

AKRF reported several health and safety concerns for this property:

- *“Areas of missing fireproofing”* on the steel beams of the roof framing. Earth Tech concurs with this statement (see photo H).
- *“Severely cracked and spalling concrete on the sidewalk, which is a tripping hazard”*. Earth Tech concurs with this statement (see photo I).
- *“An unanchored vertical post of a handrail on the east side of the ramp”*. Earth Tech observed that this deficiency has been corrected (see photo J).

Earth Tech observed additional deficiencies posing health and safety concerns:

- Earth Tech noted that a new overhead roll-up door, connecting the loading dock on Lot 16 with the building on Lot 17 has been recently installed by the new owner (Columbia University). There is also a new exit door adjacent to it (see photo K). Neither this new door nor the existing man door (fire exit door) in the building on Lot 16 have any exit signs directing egress in case of a fire emergency (see photos L and J). They also lack appropriate panic hardware. This is a fire safety hazard.

BUILDING CODE VIOLATIONS

Earth Tech reviewed DOB Building Information System files and confirms the AKRF report findings of two open building code violations for Lot 16. Earth Tech found no additional violations issued subsequent to the release of the AKRF report.

Lot 16 has two open building code violations issued by DOB. No further information on these violations is available from the DOB Building Information System.

UNDERUTILIZATION

Subsequent to the release of the AKRF report, Lot 16 was rezoned from an M1-2 (FAR 2.0) to C6-1 (FAR 6.0) district (effective December 19, 2007). Earth Tech confirms the AKRF utilization findings under the prior M1-2, including lot area (2,498 sf), maximum allowable floor area (4,996 zsf), and only 20 percent site utilization with the existing 1,000-gsf building.

Under the new C6-1 designation (FAR 6.0) there is now a maximum allowable floor area potential of 14,988 zsf. Therefore, with an existing 1,000-gsf building, Lot 16 utilizes only 7 percent of its development potential under C6-1.

ENVIRONMENTAL ISSUES

The AKRF report indicated that no Phase I investigation was conducted on Lot 16. All environmental issues identified by the area-wide PESA should have been identified in the FEIS Appendix F.1: Environmental Issues in Project Area. A Subsurface (Phase II) investigation was conducted on the site and Earth Tech reviewed the findings reported in Appendix F.2 of the FEIS.

Earth Tech reviewed Appendix F.1 and confirms that most environmental issues documented in the FEIS were included in the AKRF report. The PESA did not find potential on-site sources for subsurface contamination. No evidence of tanks or other environmental issues were identified during site visits or in documentary research. The appendix notes that the site had historic residential uses.

Earth Tech reviewed the Phase II report in Appendix F.2 of the FEIS and confirms that all findings were reported. A soil sample collected as part of the Phase II investigation had concentrations less than the state regulatory guidance values. Groundwater samples identified concentrations of VOCs and SVOCs in exceedance of groundwater standards, which AKRF notes were likely related to urban fill, upgradient petroleum use, and/or the former manufactured gas plant located on adjacent Lot 17.

SUMMARY EVALUATION

AKRF reported the building as in fair condition. The deficiencies and structural damage observed by Earth Tech are consistent with the findings reported by Thornton Tomasetti and AKRF. These relate to minor signs of rust on the roof beams in the entrance area, cracks and settlement of slab on grade in the entrance area, cracks and stepped cracks in the wall with the lintel over the entrance door, collision damage to a brick column, and missing spray-on fireproofing at a few locations. The sidewalk also has severely cracked and spalling concrete. Environmental concerns deriving from Phase II groundwater samples, with concentrations of VOCs and SVOCs in exceedance of standards, are identified by AKRF as likely related to urban fill, upgradient petroleum use, and/or the former off-site manufactured gas plant located on adjacent Lot 17. These structural and site conditions were identified by Thornton Tomasetti and AKRF and Earth Tech concurs with the assessment of the site's overall condition as fair.



Photograph 1998-16-A



Photograph 1998-16-B



Photograph 1998-16-C



Photograph 1998-16-D



Photograph 1998-16-E



Photograph 1998-16-F



Photograph 1998-16-G



Photograph 1998-16-H



Photograph 1998-16-I



Photograph 1998-16-J



Photograph 1998-16-K



Photograph 1998-16-L

SITE CONDITION: FAIR

Block 1998 Lot 17



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LOCATION, USE, ZONING, AND OWNERSHIP

Lot 17 is located at 615 West 131st Street, with lot area fronting West 131st and West 132nd Streets (See photos A and B). The 34,970-sf lot contains a six-story 210,000-gsf brick building, known as the “Studebaker Building”. According to the Department of Finance RPAD Master File, the building was constructed in 1924 with renovations recorded in 1997. The building is undergoing further renovations for office use. Earth Tech reviewed the NYC Department of Finance Automated City Register Information System (ACRIS) and found that the property was acquired by the Trustees of Columbia University from 615 West

131st Street LLC on July 19, 2007 (date of deed transfer). At the time of the AKRF report, Lot 17 was zoned M1-2; however it has since been designated C6-1 as part of the Special Manhattanville Mixed Use District (MMU) rezoning (effective December 19, 2007).

PHYSICAL AND STRUCTURAL CONCERNS

Thornton Tomasetti evaluated only the exterior of this building and site and reported the overall condition as in fair condition due to local structural distress and minor water damage and some substandard exterior and site conditions.

At the time this site was inspected by Earth Tech on April 10, 2008, access to the interior was made available. The second to fifth floors have been entirely renovated with new painting, lighting, windows, suspended ceilings, office spaces, new roof membrane, all dunnage work, pipe supports, and all air conditioning equipment on the roof, etc.

Earth Tech observed the following building deficiencies:

1. The lintels over the rolling doors on the north side are severely corroded and significantly deflected (see photos C, D and E).
2. A large stone is cracked and displaced over a boarded opening on the south side of the building (See photo F). The freight elevator block and stair walls exhibit some water damage, medium cracks, paint peel off and water stains (see photos G, H, I and J).

3. The deck area near the first floor shows a stepped crack and a vertical crack in the north wall (see photo K).
4. There is a buckled or damaged bracing member in the storage room at the first floor.
5. Bracing is provided between the second floor slab and walls all around the storage room (see photos L and M).
6. A 3 ft. by 2 ft. delaminated area on the soffit of the second floor slab of future office space area is evident (see photo N).

Since the previous inspection, there has been major renovation work performed on the building. However, several deficient conditions remain and Earth Tech generally concurs with the assessment by Thornton Tomasetti and AKRF as to the fair condition of the building.

HEALTH AND SAFETY CONCERNS

The building is currently undergoing renovation (by Columbia University).

AKRF reported several health and safety concerns for this property.

1. *“The stone cladding above a door opening on the south façade is cracked and appears to be an unsafe condition for people using this entrance due to the potential of falling debris”*. Earth Tech was not able to locate the entrance described in the AKRF report. Earth Tech assumes that the condition has been corrected as part of on-going renovation of the building; the current main entrance from West 131st Street appears recently renovated (see photo O).
2. *“On the West 132nd Street sidewalk, an expansion joint has widened. This strip between the curb and the widened joint is steeply sloped, which is a potential tripping hazard for pedestrians”*. Earth Tech concurs with this statement (see photos P and Q).

Earth Tech observed several deficiencies posing health and safety concerns:

1. Efflorescence, peeling paint and similar deficiencies, typically associated with water damage, were observed in several locations throughout the (not-yet-renovated) portions of the building (see photos J, R, S and T). These are possible health concerns for employees.
2. An unused portion of steel flue was left on the north façade (facing West 132nd Street) of the building after a recent renovation. Earth Tech noted that the bottom portion of this flue appears to be inadequately supported, may become loose and present a safety hazard to pedestrians (see photo U).

BUILDING CODE VIOLATIONS

Earth Tech reviewed DOB Building Information System files and confirms the AKRF report findings of 11 building code violations for Lot 30. Earth Tech found three additional violations issued subsequent to the release of the AKRF report and four resolved violations, resulting in a total of 10 open violations for the property to date.

The AKRF report noted that Lot 17 had 11 open building code violations issued between 1985 and 2005. Six violations were issued by DOB between 2001 and 2005 for the building's elevator. Earth Tech found three additional DOB elevator related violations issued subsequent to the AKRF report in October 2006 and September 2007. Another violation was issued in 2005 for an elevator safety test but was subsequently dismissed in August 2007. Two violations issued by DOB in 2003 cite the building's boiler but were subsequently dismissed in September 2007. A violation was issued by ECB in 1997 for plumbing that does not conform to approved plans and for failure to maintain the boiler. The final violation was issued in 1985 by DOB but was subsequently dismissed in March 2007. No additional information is provided in the DOB Building Information System

UNDERUTILIZATION

There was no Underutilization section write-up completed in the AKRF report for Lot 17 but Appendix A, Table A-2 reports the site utilization data. Subsequent to the release of the AKRF report, Lot 17 was rezoned from an M1-2 (FAR 2.0) to C6-1 (FAR 6.0) district (effective December 19, 2007). Earth Tech confirms the AKRF utilization findings under the prior M1-2 designation, including: lot area (34,970-sf), maximum allowable floor area (69,940-zsf), and a 300 percent site utilization with the existing 210,000-gsf building. Under the former zoning the site was overbuilt by 140,060-sf.

Under the new C6-1 designation (FAR 6.0) there is now a maximum allowable floor area potential of 209,820-zsf. Therefore, with an existing 210,000-gsf building, Lot 17 utilizes 100 percent of its development potential under C6-1.

ENVIRONMENTAL ISSUES

The AKRF report indicated that Phase I and II investigations were conducted on Lot 17. Earth Tech does not have access to the Phase I report, however, all hazardous material and environmental contamination issues relevant to the site should have been identified in the FEIS, Appendix F.1: Environmental Issues in Project Area. The AKRF Subsurface (Phase II) investigation was included in Appendix F.2 of the FEIS and reviewed by Earth Tech.

Earth Tech reviewed Appendix F.1 and confirms that most environmental issues documented in the FEIS were included in the AKRF report. Environmental issues identified by the Phase I include: former and current use as a factory, paint room, spray booths, solvent storage, fuel oil AST, multiple gasoline USTs, generator of hazardous waste, a former manufactured gas plant gas holder, and an open status spill reported on August 18, 2005. The AKRF report notes that the "database entry for the spill indicated

excavation of soil as part of construction, and that a closure request would be submitted.” Earth Tech reviewed the NYCDEC Spill Incidents database and confirms the spill is still open. Additional issues identified in the FEIS Appendix but not included in the AKRF report include site reconnaissance notes indicating that several toxic and/or hazardous materials were observed on site. The property is listed in EPA’s Air Releases (AIRS/AFS) database for potential air emissions as well as RCRA Info.

Earth Tech reviewed the Phase II report in Appendix F.2 of the FEIS and confirms that all findings were reported. A soil sample collected as part of the Phase II investigation indicated concentrations of metals in exceedance of guidance values, which were likely related to urban fill. No groundwater samples were collected as part of the Phase II investigation.

SUMMARY EVALUATION

AKRF reported the building as in fair condition. Earth Tech notes that major renovations to the second to fifth floors have been undertaken. Some deficient conditions remain in the building, including: severely corroded and significantly deflected lintels over the rolling doors on the north side; a cracked and displaced stone over a boarded opening on the south wall; water damage, medium cracks, paint peel off and water stains on the freight elevator block and stair walls; stepped and vertical cracks in the north wall damaged bracing in the storage room on the first floor.

Earth Tech observed several deficiencies posing health and safety concerns, including: a widened expansion joint on the sidewalk at West 132nd Street, presenting a potential tripping hazard for pedestrians; and efflorescence, peeling paint and similar deficiencies, typically associated with water damage, were observed at several locations in the (not-yet-renovated) portions of the building.

Since the previous inspection, there has been major renovation work performed on the building. Nonetheless, several deficient conditions remain in the non-renovated portions of the building so that Earth Tech maintains the site’s overall condition rating as fair.



Photograph 1998-17-A



Photograph 1998-17-B



Photograph 1998-17-C



Photograph 1998-17-D



Photograph 1998-17-E



Photograph 1998-17-F



Photograph 1998-17-G



Photograph 1998-17-H



Photograph 1998-17-I



Photograph 1998-17-J



Photograph 1998-17-K



Photograph 1998-17-L



Photograph 1998-17-M



Photograph 1998-17-N



Photograph 1998-17-O



Photograph 1998-17-P



Photograph 1998-17-Q



Photograph 1998-17-R



Photograph 1998-17-S



Photograph 1998-17-T



Photograph 1998-17-U

SITE CONDITION: POOR

Block 1998 Lot 24



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LOCATION, USE, ZONING, AND OWNERSHIP

Lot 24 is located at 609 West 131st Street between Broadway and Twelfth Avenue with lot area fronting both West 131st (see photo A) and West 132nd Streets (see photo B). The 9,992-sf site consists of a one-story building that covers the entire lot. According to the Department of Finance RPAD Master File, the building was constructed in 1910 with no recorded alterations. The AKRF report notes the building's presence on a historic Sanborn map from 1909 indicates that it was likely constructed prior to 1909. Earth Tech reviewed the NYC Department of Finance Automated City Register Information System (ACRIS) and found

that Lot 24 was acquired by Ashland Chemical Inc. in September 1990 (date of deed transfer). The Trustees of Columbia University are in contract to acquire the lot from the current owner. At the time of the AKRF report, Lot 24 was zoned M1-2, however, it has since been designated C6-1 as part of the Special Manhattanville Mixed Use District (MMU) rezoning (effective December 19, 2007).

PHYSICAL AND STRUCTURAL CONCERNS

As evaluated by Thornton Tomasetti, and later reported by AKRF, the exterior of this site is in poor condition due to a combination of structural distress and deficient exterior building and roof conditions. Their evaluation was based only on visual observations of the site and building exterior in September 2006, and April 2007. At that time, as was the case when Earth Tech inspected the building exterior on March 12, 2008, access to the building interior and roof was not possible. Since significant structural distress was not reported by Thornton Tomasetti or observed by Earth Tech, no commentary can be offered about the safety and stability of the building's structural systems.

This is a one-story building that presents painted brick masonry and sidewalks on its north and south faces (see photos A and B). It is approximately 50 feet by 200 feet in plan, and fills the entirety of this rectangular lot that extends between West 131st and West 132nd Streets. There is reportedly a cellar, which was not entered by Earth Tech or Thornton Tomasetti.

Based upon their visual, exterior inspection in 2006 and 2007, Thornton Tomasetti reported the poor conditions of sidewalks (cracks and spalls, see photo C), exterior wall (cracks and settlement, see photo D), windows (corrosion, see photo E), and roof (ponding stains and debris, see photo F). When inspected on March 12, 2008, Earth Tech's observations were generally consistent with the conditions reported by Thornton Tomasetti, or have possibly worsened. New or previously unreported deficiencies observed by Earth Tech include: decayed, disintegrating wooden window headers at the south face; and several local areas of bulging brickwork at the north face (see photos B and G). Except for 11 replaced sidewalk panels along West 132nd Street, there was no evidence of any repairs or renovation following the 2006/2007 inspections. Insulation boards and timber planks covering the west side of the roof remain in place (see photo F). (Thornton Tomasetti's speculation was that these were protection from façade renovation construction on the adjacent building).

In view of the observed conditions and the building's age (more than 90 years), Earth Tech concurs with the overall evaluation by Thornton Tomasetti for the exterior features of this site as poor. If extended service for this property is desired, the interior should be inspected to complete the building's evaluation, along with a hands-on inspection and probes of the façade to confirm the stability of the face brick.

HEALTH AND SAFETY CONCERNS

This property was available for exterior survey only. The AKRF report did not list any health and safety concerns for this building other than "*the sidewalks along both West 131st Street and West 132nd Streets are in poor condition, with several wide cracks, spalling, and weeds observed. The curb cuts are in fair condition, with minor damage*".

Earth Tech concurs with the AKRF report. At the time of the survey, Earth Tech observed:

- The sidewalk at West 131st Street is in fair to poor condition with several cracks; the worst condition is at the western side close to the building, where, due to differential settlement, the concrete sidewalk slabs create a tripping hazard for pedestrians (see photos A, H and I).
- The sidewalk at West 132nd Street is in fair to poor condition with an area of cracked and spalling concrete slab (see photos J and K).

BUILDING CODE VIOLATIONS

Earth Tech reviewed DOB Building Information System files and confirms the AKRF report findings that no open building code violations exist for Lot 24. Earth Tech found no additional violations issued subsequent to the release of the AKRF report.

UNDERUTILIZATION

Subsequent to the release of the AKRF report, Lot 24 was rezoned from an M1-2 (FAR 2.0) to C6-1 (FAR 6.0) district (effective December 19, 2007). Earth Tech confirms the AKRF utilization findings under the prior M1-2 including lot area (9,992 sf), maximum allowable floor area (19,984 zsf), and a 50 percent site utilization with the existing 9,992-gsf building.

Under the new C6-1 designation (FAR 6.0) there is now a maximum allowable floor area potential of 59,952 zsf. Therefore, with an existing 9,992-gsf total building area, Lot 24 utilizes only 17 percent of its development potential under C6-1.

ENVIRONMENTAL ISSUES

The AKRF report indicated that a Phase I investigation was conducted on Lot 24. All hazardous material and environmental contamination issues relevant to the site should have been identified in the FEIS in Appendix F.1: Environmental Issues in Project Area. There was no Subsurface (Phase II) investigation conducted for this site.

Earth Tech reviewed Appendix F.1 and confirms that most environmental issues documented in the FEIS were included in the AKRF report. Environmental issues identified by the Phase I include: current use as a chemical facility, former use as a garage/auto service facility, gasoline USTs, potential fuel oil storage, observed chemical storage, and its designation as a large-quantity generator of hazardous waste and a storer of hazardous waste with corrective action, but no apparent evidence of a release. A Phase II investigation was not performed on Lot 24; however, monitoring wells were observed on-site during the site inspection.

Additional environmental data identified by Earth Tech and not mentioned in the AKRF report include: the lot is listed in RCRA Large Quantity Generator (LQG) files (last updated January 1, 2006 for this site); and the site is listed in the US EPA Toxics Release Inventory System (TRIS). The TRI is a database of toxic releases in the United States compiled from SARA Title III Section 313 reports.

SUMMARY EVALUATION

This site was available to Earth Tech only for external observation, as it was for the Thornton Tomasetti inspection. Earth Tech's observations were generally consistent with the conditions reported by Thornton Tomasetti, or have possibly worsened. Examples of the deficient conditions reported by Thornton Tomasetti included: cracked sidewalks; settled and cracked exterior wall; window corrosion; and roof ponding stains and debris. Earth Tech additionally observed: decayed, disintegrating wooden window headers at the south face; and local areas of bulging brickwork at the north face. Despite some replacement sidewalk slabs, much of the adjacent sidewalk remains in fair to poor

condition with several cracks, worse close to the building, the result of differential settlement. Environmental concerns associated with the site include: the current use as a chemical facility observed chemical storage, and its designation as a large-quantity generator of hazardous waste; and its former use as a garage/auto service facility with gasoline USTs, potential fuel oil storage. On the basis of observed conditions and the building's age (more than 90 years), Earth Tech maintains the rating of the site's overall condition as poor.



Photograph 1998-24-A



Photograph 1998-24-B



Photograph 1998-24-C



Photograph 1998-24-D



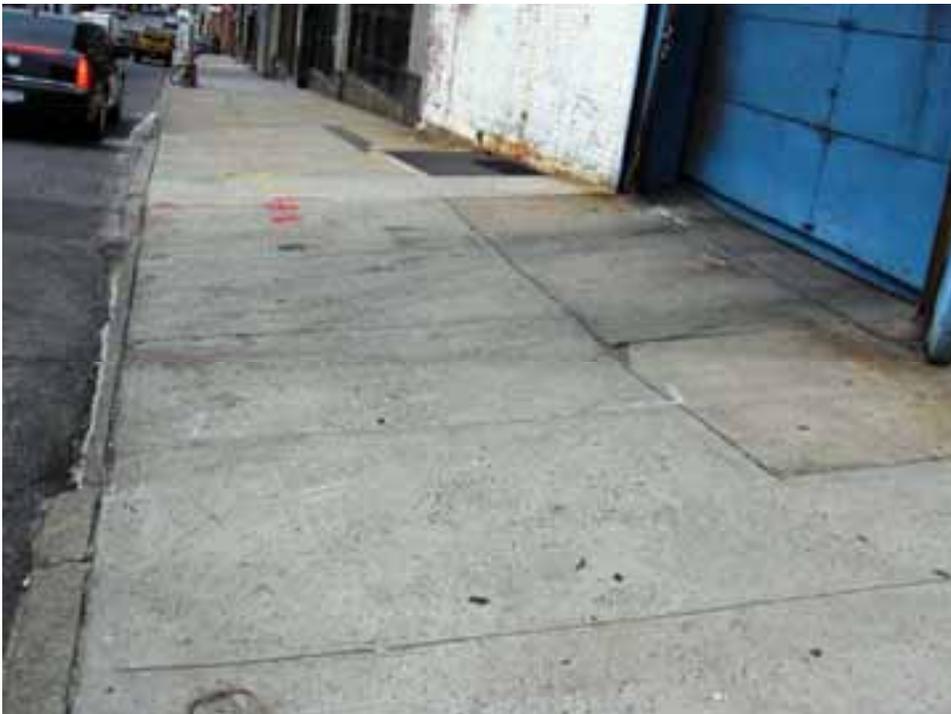
Photograph 1998-24-E



Photograph 1998-24-F



Photograph 1998-24-G



Photograph 1998-24-H



Photograph 1998-24-I



Photograph 1998-24-J



Photograph 1998-24-K

SITE CONDITION: POOR

Block 1998 Lot 26



Source: MapPluto copyrighted by the New York City Department of City Planning, 2007

LOCATION, USE, ZONING, AND OWNERSHIP

Lot 26 is located at 605 West 131st Street between Broadway and Twelfth Avenue. The lot is 4,996 sf and consists of a one-story building that occupies the entire lot area (see photos A and B). The [Department of Finance RPAD Master File](#) indicates the building was constructed in 1910 with no subsequent recorded alterations. The AKRF report notes the building's presence on a historic Sanborn map from 1909, indicating that it was likely constructed prior to 1909. Earth Tech surveyed the site and found the building occupied by a chemical company (Ashland Chemical) which is similar to adjacent Lot 24. Earth Tech reviewed the NYC

Department of Finance Automated City Register Information System (ACRIS) and found that Lot 26 was acquired by Ashland Chemical, Inc. in September 1990 (date of deed transfer) from the Olin Corporation. The Trustees of Columbia University are in contract to acquire the lot from the current owner. At the time of the AKRF report, Lot 26 was zoned M1-2, however, it has since been designated C6-1 as part of the Special Manhattanville Mixed Use District (MMU) rezoning (effective December 19, 2007).

PHYSICAL AND STRUCTURAL CONCERNS

As evaluated by Thornton Tomasetti, and later reported by AKRF, the exterior of this site is in poor condition, due to “water infiltration, lack of maintenance, and the age of the building”. This evaluation was based on visual observations during inspections of the site and building exterior only by Thornton Tomasetti in September 2006, and April 2007. At that time, as was the case when Earth Tech inspected the building exterior on March 12, 2008, access to the building interior and roof was not possible. Since significant structural distress was not reported by Thornton Tomasetti or observed by Earth Tech, no commentary can be offered about the safety and stability of the building's structural systems.

This is a one-story building that presents painted stone masonry and sidewalks on its south face (see photo A) on West 131st Street. It is approximately 50 feet by 100 feet in plan, and fills the entirety of this rectangular lot that is entered from West 131st Street.

Based upon their visual, exterior inspection in 2006 and 2007, Thornton Tomasetti reported the poor conditions of sidewalks (cracks, see photo C), exterior wall (cracks, hole, and deteriorated lintels, see photos D, E, F and G); and the fair conditions of the roll-up door (minor damage, see photo H), and roofing (ponding stains, see photo I). When inspected on March 12, 2008, Earth Tech's observations were generally consistent with the conditions reported by Thornton Tomasetti.

In view of the observed conditions and the building's age (more than 90 years), Earth Tech concurs with the overall evaluation by Thornton Tomasetti for the exterior features of this site as poor. If extended service for this property is desired, the interior should be inspected to complete the building's evaluation, along with a hands-on inspection of the façade to confirm the stability of the stone masonry face.

HEALTH AND SAFETY CONCERNS

This property was available for exterior survey only. AKRF report did not list any health and safety concerns for this building other than *"the sidewalk along West 131st Street is in poor condition with some wide cracks and vegetation observed, while curb cuts appear to be in fair condition"*. Earth Tech concurs with this finding. At the time of the survey, Earth Tech observed: the sidewalk at West 131st Street as in fair to poor condition with several wide cracks and chunks of brick and concrete spalling off the building wall in one location (see photos B and E).

BUILDING CODE VIOLATIONS

Earth Tech reviewed DOB Building Information System files and confirms the AKRF report findings of no open building code violations for Lot 26. Earth Tech found no additional open violations issued subsequent to the release of the AKRF report.

UNDERUTILIZATION

Subsequent to the release of the AKRF report, Lot 26 was rezoned from an M1-2 (FAR 2.0) to C6-1 (FAR 6.0) district (effective December 19, 2007). Earth Tech confirms the AKRF utilization findings under the prior M1-2 including lot area (4,996 sf), maximum allowable floor area (9,992 zsf), and a 50 percent site utilization with the existing 4,996-gsf building.

Under the new C6-1 designation (FAR 6.0) there is now a maximum allowable floor area potential of 29,976 zsf. Therefore, with an existing 4,996-gsf total building area, Lot 26 utilizes only 17 percent of its development potential under C6-1.

ENVIRONMENTAL ISSUES

The AKRF report indicated that a Phase I investigation was conducted on Lot 26. All hazardous material and environmental contamination issues relevant to the site should have been identified in the FEIS in Appendix F.1: Environmental Issues in Project Area. There was no Subsurface (Phase II) investigation conducted for this site.

Earth Tech reviewed Appendix F.1 and confirms that most environmental issues documented in the FEIS were included in the AKRF report. Environmental issues identified by the Phase I include: current use as a chemical company, former use as an auto service facility, former gasoline USTs, and potential former fuel oil storage and chemical storage. In addition, AKRF noted that their Phase I documentary research indicated records of a leaking underground storage tank.

Additional issues that were not mentioned in the AKRF report include: a previous oil permit, a former use as a chemical company, and a current use as a garage.

SUMMARY EVALUATION

This site was available to Earth Tech only for exterior observation, as it was for Thornton Tomasetti's earlier inspection. Earth Tech confirms Thornton Tomasetti's findings of this 90-year old building's exterior as in poor condition, noting: exterior wall cracks, hole, and deteriorated lintels, evidence of roof ponding, and sidewalk cracks. Environmental concerns associate with the site's current use as a chemical company, former use as an auto service facility, former gasoline USTs, and potential former fuel oil storage and chemical storage. In addition, the AKRF report indicated the presence of a leaking underground storage tank identified in its documentary research. On the basis of its external inspections and historical site conditions, Earth Tech maintains the rating of this site's overall condition as poor.



Photograph 1998-26-A



Photograph 1998-26-B



Photograph 1998-26-C



Photograph 1998-26-D



Photograph 1998-26-E



Photograph 1998-26-F



Photograph 1998-26-I

SITE CONDITION: FAIR

Block 1998 Lot 29



Source: MapPluto copyrighted by the New York City Department of City Planning, 2007

LOCATION, USE, ZONING, AND OWNERSHIP

Lot 29 is located at 3259 Broadway between West 131st and West 132nd Streets. The 19,983-sf lot contains a four-story 79,708-gsf warehouse building occupied by a Tuck-It-Away self-storage facility (see photo A). According to the Department of Finance RPAD Master File, the building was constructed in 1920 with no subsequent recorded alterations. Earth Tech reviewed the NYC Department of Finance Automated City Register Information System (ACRIS) and found that Spray-Tuck, Inc. acquired the property from Tuck-It-Away AY, Inc. in 1982. At the time of the AKRF report, Lot 61 was zoned M1-2; however, it has

since been designated C6-1 as part of the Special Manhattanville Mixed Use District (MMU) rezoning (effective December 19, 2007).

PHYSICAL AND STRUCTURAL CONCERNS

As evaluated by Thornton Tomasetti, and later reported by AKRF, the building is in fair condition owing to some substandard conditions on the site and the building's exterior. The interior of the building was not available for observation.

At the time this site was inspected by Earth Tech on April 17, 2008 the interior of the building was not available for inspection. No interim or permanent repairs to correct or mitigate the previously reported instances of structural damage, distress or instability were found except that the brick work on north, south and east elevation is newly painted. The deficiencies and structural damage observed by Earth Tech are generally consistent with the findings reported by AKRF and Thornton Tomasetti.

The rollup door at the south of the building has a wide crack in the lintel and a step crack at the base (see photos B and C). The personnel door next to the rollup door appears to have incurred some masonry damage (see photo D). A wide vertical crack, which runs almost full height of the 4-story building at the west exterior wall, may indicate structural distress (see photos E and F), the wall also exhibits signs of water infiltration, deteriorated paint and minor cracks at the bill board supports (see photos G, H and F). The east exterior wall has a wide step crack at the top, south and north end of the wall (see photos I and J). At the north exterior wall, the lintel over the rollup door is

deteriorated and deflected (see photo K). The masonry facing of the CMU wall is spalled (see photos L and M). Earth Tech was not able to access the roof membrane. The sidewalk is in fair condition (see photos N, O and P).

Since the previous inspection there has been a change in the appearance of the building: the north, south and east exterior walls have been painted (see photos Q, R and S). Deterioration of the west wall continues to increase due to water infiltration and weathered façade (see photos F and T). Earth Tech generally concurs with the assessment of Thornton Tomasetti and AKRF as to the fair nature of the building's physical and structural system.

HEALTH AND SAFETY CONCERNS

The property was available for exterior survey only; the property was observed from the sidewalk and the roof of a neighboring building.

AKRF reported several health and safety concerns for this building. Earth Tech notes that:

- Earth Tech concurs with the AKRF evaluation of sidewalks and curbs as fair and good, respectively (see photos N, O, and P).
- There are no fire escapes on any of the building's facades, suggesting that egress is provided through exit stairs. However, on the day of Earth Tech's survey it was observed that both potential street exit doors on West 131st Street and West 132nd Street were closed with overhead shutters from outside and padlocked. The inoperable fire exits are a serious safety concern for employees and visitors (see photos U and V).

BUILDING CODE VIOLATIONS

Earth Tech reviewed DOB Building Information System files and confirms the AKRF report findings of 17 open building code violations for Lot 29. Earth Tech found two additional violations issued subsequent to the release of the AKRF report, resulting in a total of 19 open violations for the property to date.

Twelve of the violations for Lot 29 were issued by DOB between 1993 and 2005 and cite the building's boiler. Earth Tech found two additional violations issued by DOB related to the boiler in January 2006 and January 2007. In 1998, ECB issued one violation, which was considered to be hazardous and of high severity, for failure to maintain an elevator. It issued another hazardous violation in 2002 for failure to maintain the exterior wall. This latter violation, which was also considered to be of high severity, states that the brick exterior wall at the south corner of the west elevation has a crack that extends vertically from the second floor to the fourth floor. The remaining three violations were issued between 1975 and 1981 by DOB. No further information is available for the above violations in the DOB Building Information System.

UNDERUTILIZATION

There was no Underutilization section write-up completed in the AKRF report for Lot 29 but Appendix A Table A-2 reports the site utilization data. Subsequent to the release of the AKRF report, Lot 29 was rezoned from an M1-2 (FAR 2.0) to C6-1 (FAR 6.0) district (effective December 19, 2007). Earth Tech confirms the AKRF utilization findings under the prior M1-2 designation, including: lot area (19,983 sf), maximum allowable floor area (39,966 zsf), and a 199 percent site utilization with the existing 79,708-gsf building. Under the former zoning, the site was overbuilt by 39,742 sf.

Under the new C6-1 designation (FAR 6.0) there is now a maximum allowable floor area potential of 119,898 zsf. Therefore, with an existing 79,708-gsf building, Lot 29 utilizes only 66 percent of its development potential under C6-1.

ENVIRONMENTAL ISSUES

The AKRF report indicated that no Phase I or II investigations were conducted on Lot 29. However, all environmental issues identified by the area-wide PESA should have been identified in the FEIS Appendix F.1: Environmental Issues in Project Area.

Earth Tech reviewed Appendix F.1 and confirms that most environmental issues documented in the FEIS were included in the AKRF report. Environmental issues identified by the PESA include: former use as an auto repair shop; former fuel oil storage and a potential old vent pipe. Additional issues that were not mentioned in the AKRF report include current use for and historic uses for auto parking, and a previous fuel oil permit and oil tank and grease trap reported on site.

SUMMARY EVALUATION

AKRF reported the building as in fair condition. Earth Tech's exterior inspection of the building is consistent with the findings reported by AKRF and Thornton Tomasetti. Structural deficiencies include: step and linear cracks in walls, one of which runs almost full height of the 4-story building; the wall also exhibits signs of water infiltration; deteriorated paint, and minor cracks at the bill board supports; and deteriorated and deflected lintel over the rollup door. Since the previous inspection, the building's north, south and east exterior walls have been painted red and its CMU-blocked windows painted black. Deterioration of the west wall continues from water infiltration. Despite the recent painting, Earth Tech maintains the overall condition rating of the site as fair.



Photograph 1998-29-A



Photograph 1998-29-B



Photograph 1998-29-C



Photograph 1998-29-D



Photograph 1998-29-E



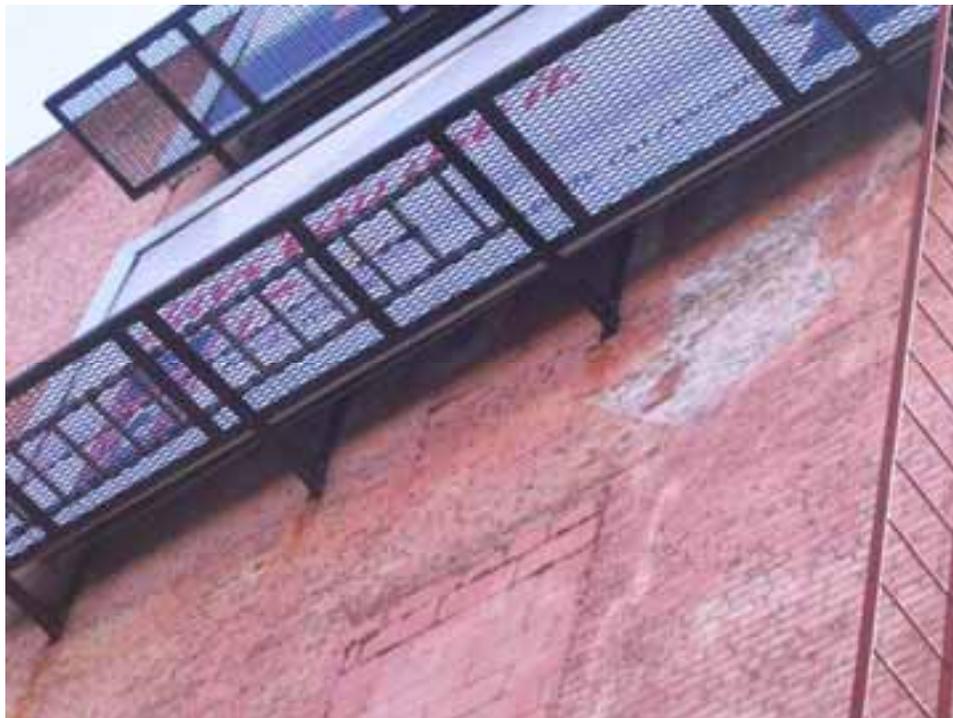
Photograph 1998-29-F



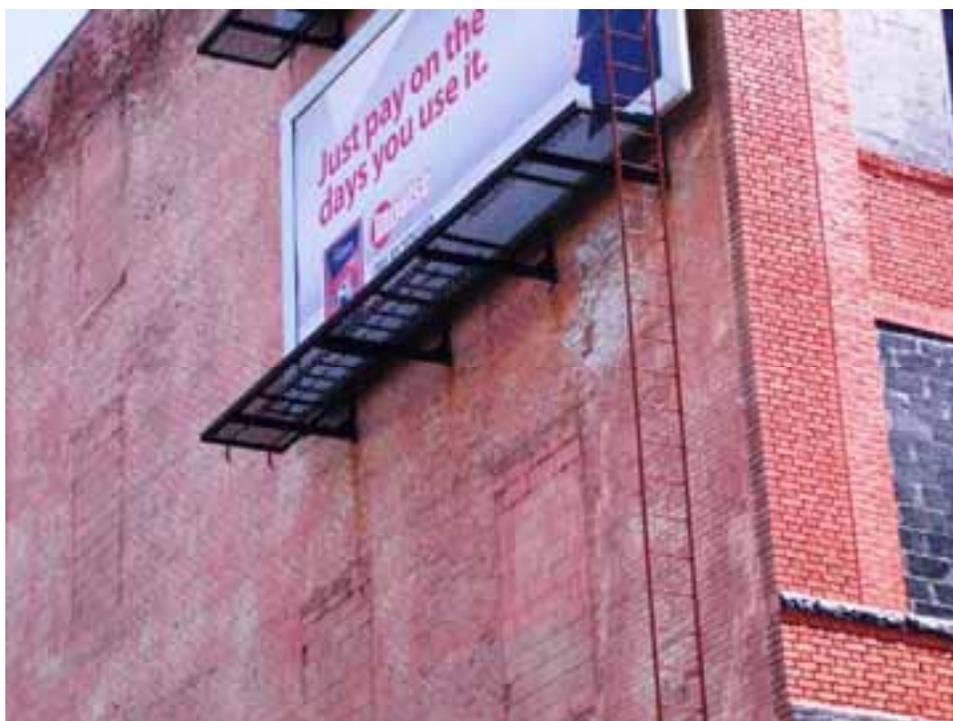
Photograph 1998-26-G



Photograph 1998-26-H



Photograph 1998-29-G



Photograph 1998-29-H



Photograph 1998-29-I



Photograph 1998-29-J



Photograph 1998-29-K



Photograph 1998-29-L



Photograph 1998-29-M



Photograph 1998-29-N



Photograph 1998-29-O



Photograph 1998-29-P