

The second floor consisting of timber joists and steel beams and timber planks is in a critical to collapsed condition, especially the floor, which shows severe deterioration, large holes, and warping. The deterioration is so severe and extensive that it is unsafe to be on the floor. The steel beams show heavy laminar corrosion on the bottom flanges (see photos M, N and O). The roof joists also are in similar condition to those on the second floor (see photos P and Q). All deficiencies as described above are attributed to water infiltration and remained evident.

Since the previous inspection there are no significant changes to the physical condition the building and Earth Tech concurs with the assessment by Thornton Tomasetti and AKRF as to the critical nature of the building's physical structural systems. However, Earth Tech considers that the second floor of the building is in a collapsed condition, due to large holes with soft and crumbling timber planks, and recommends access to this floor should be prohibited.

HEALTH AND SAFETY CONCERNS

A sign on the West 130th Street façade, indicates that the building was declared unsafe by the Fire Department of the City of New York in March of 2007 and locked (see photo R). Columbia University has performed some minor upgrades to the West 130th Street building façade, including: blocking with CMU several openings on the first floor; boarded missing windows with PCB plastic sheets; and painted the first floor of the façade (see photo S). Also, emergency repairs were conducted at the sidewalk vault on the southwest corner; a new sidewalk slab (concrete slab on corrugated metal deck) was installed by Columbia University (see photo T).

Earth Tech concurs with all the health and safety concerns listed in the AKRF report (see photos U, V, W, X, Y, Z, AA, AB and AC). The building is unsafe and essentially unusable in its current condition.

BUILDING CODE VIOLATIONS

Earth Tech reviewed DOB Building Information System files and confirms the AKRF report findings of 15 open building code violations for Lot 18. Earth Tech also found an additional violation issued subsequent to the release of the AKRF report resulting in a total of 16 open violations for the property to date.

The AKRF report indicated that Lot 18 had 15 open building code violations issued by DOB and ECB. Eight of the violations, issued between 1991 and 2005, are related to the building's elevator, including elevator safety test and failure to maintain an elevator. Earth Tech found an additional DOB violation issued in 2007 for an elevator safety test. One violation issued in 2005 is for the boiler, and another violation issued in 1990 is for failure to maintain the boiler. No additional information is provided for the above violations or for the remaining five violations by the DOB Building Information System.

UNDERUTILIZATION

There was no Underutilization section write-up completed in the AKRF report for Lot 18 but Appendix A Table A-2 reports the site utilization data. Subsequent to the release of the AKRF report, Lot 18 was rezoned from an M1-2 (FAR 2.0) to C6-1 (FAR 6.0) district (effective December 19, 2007). Earth Tech confirms the AKRF utilization findings under the prior M1-2 designation including lot area (7,494 sf), maximum allowable floor area (14,988 zsf), and a 183 percent site utilization with the existing 27,500-gsf building. The site is overbuilt by 12,512 sf.

Under the new C6-1 designation (FAR 6.0) there is now a maximum allowable floor area potential of 44,964 zsf. Therefore, with an existing 27,500-gsf building, Lot 18 utilizes only 61 percent of its development potential under C6-1.

ENVIRONMENTAL ISSUES

The AKRF report indicated that Phase I and II investigations were conducted on Lot 18. All hazardous material and environmental contamination issues relevant to the site should have been identified in the FEIS in Appendix F.1: Environmental Issues in Project Area. The AKRF Subsurface (Phase II) investigation was included in Appendix F.2 of the FEIS.

Earth Tech reviewed Appendix F.1 and confirms that all environmental issues documented in the FEIS were included in the AKRF report. Environmental issues identified by the Phase I include: former use as a factory warehouse and a chemical lab, a former gasoline UST, in-service fuel oil AST, chemical storage, and numerous 55-gallon drums. Additional information provided in the appendix but not included in the AKRF report includes historical auto use and a 1,500-gallon fuel oil AST. Site reconnaissance notes also indicated fuel oil fill caps and vent pipe.

Earth Tech reviewed the Phase II report in Appendix F.2 of the FEIS and confirms that all findings were reported. The report indicated that a soil sample collected as part of the Phase II investigation had concentrations that were less than the state regulatory guidance values. The groundwater sample identified concentrations of total metals that exceeded guidance values. AKRF noted that the exceedance was likely related to urban fill.

SUMMARY EVALUATION

Earth Tech found no interim or permanent repairs to correct the reported structural deficiencies identified by the Thornton Tomasetti inspection. These deficiencies included: severe water infiltration and damage; mold and efflorescences; cracked concrete encasements for beams and columns; severely deteriorated and rotated first floor roof joists; collapsed steel panel ceiling; wide vertical cracks in the brick wall; the second floor is in a critical to collapsed condition; the roof joists are also severely deteriorated. The building was declared unsafe by the Fire Department of the City of New York in March of 2007. Despite the recent cosmetic repairs made by Columbia University, Earth Tech concurs with the health and safety concerns identified in the AKRF report and

considers the building as unsafe and essentially unusable in its current condition. Additional environmental concerns relate to the site's former use as a factory warehouse and a chemical lab, a former gasoline UST, in-service fuel oil AST, and chemical storage. The Phase II investigation reported a groundwater sample with concentrations of total metals that exceeded guidance values. As a result of its investigation and findings, Earth Tech maintains the rating of this site's overall condition as critical.



Photograph 1997-18-A



Photograph 1997-18-B



Photograph 1997-18-C



Photograph 1997-18-D



Photograph 1997-18-E



Photograph 1997-18-F



Photograph 1997-18-G



Photograph 1997-18-H



Photograph 1997-18-I



Photograph 1997-18-J



Photograph 1997-18-K



Photograph 1997-18-L



Photograph 1997-18-M



Photograph 1997-18-N



Photograph 1997-18-O



Photograph 1997-18-P



Photograph 1997-18-Q



Photograph 1997-18-R



Photograph 1997-18-S



Photograph 1997-18-T



Photograph 1997-18-U



Photograph 1997-18-V



Photograph 1997-18-W



Photograph 1997-18-X



Photograph 1997-18-Y



Photograph 1997-18-Z



Photograph 1997-18-AA



Photograph 1997-18-AB



Photograph 1997-18-AC

SITE CONDITION: CRITICAL

Block 1997 Lot 21



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LOCATION, USE, ZONING, AND OWNERSHIP

Lot 21 is located at 615 West 130th Street between Broadway and Twelfth Avenue. The 2,498-sf lot contains a three-story, vacant 12,400-gsf brick masonry building that, according to the Department of Finance RPAD Master File, was constructed in 1920 and subsequently altered in 1995 (see photo A). The building does not occupy the entire site and has an approximate 950-sf paved space at its rear (see photo B). Earth Tech reviewed the NYC Department of Finance Automated City Register Information System (ACRIS) and found that Lot 21 was acquired by The Trustees of Columbia University from Marzeno Realty, Inc. on October

27, 2004 (date of deed transfer). At the time of the AKRF report, Lot 21 was zoned M1-2; however it has since been designated C6-1 as part of the Special Manhattanville Mixed Use District (MMU) rezoning (effective December 19, 2007).

PHYSICAL AND STRUCTURAL CONCERNS

As evaluated by Thornton Tomasetti, the building was in poor condition, due to a combination of moderate structural distress and some hazardous exterior and interior conditions. However, due to the severity of the health and safety concerns the building was evaluated by AKRF as in critical condition. Earth Tech concurs with the evaluation by AKRF and rates the site's condition as in the critical category.

At the time this site was inspected by Earth Tech on April 1, 2008, no interim or permanent repairs to correct or mitigate the reported instances of structural damage, distress or instability were found, where inspection was possible, except that new patch work had been performed on the north wall at the first floor, probably to prevent water infiltration into the building, and the roof drain has been reattached (see photos C and D). In addition, work was performed to close down the building, including sealing windows on the north and south sides of the building, pursuant to Fire Department directives.

An approximately 30 foot long medium sealed vertical crack is present on the south elevation end of the building (see photo E). The first floor exhibits warped and ripped floor tile, a pool of water, and uneven floors due to extensive water infiltration. The widespread water damage is evident in the north wall and stair walls from inside,

including: efflorescences, mold, and water stains; and collapsed ceilings at all floors (see photos F, G, H and I). The steel lintels in the north wall are severely deteriorated, and extensive mold and efflorescences are present around windows, all due to water infiltration (see photo J). The south roof parapet shows a wide stepped crack, and plaster is hollow with random cracking (see photos K and L). A medium crack in the north wall above the first floor is visible, permitting leaks into the building. The crack and damaged stucco is patched but water continues to infiltrate the building, causing extensive water damage (see photos C and D).

Since the previous inspection, there are no significant changes in the physical conditions of the building, however, deterioration and mold continue to increase. Earth Tech, therefore, maintains the rating of this site's overall condition as critical.

HEALTH AND SAFETY CONCERNS

Earth Tech concurs with the health and safety concerns noted in the AKRF report. These concerns are:

- *“A significant amount of mold was observed throughout the building... which is a health concern“.* The extensive mold was observed throughout the building's north side and along the stair walls (see photos M, N, O and P).
- A 4' wide gap between the north edge of the yard and a building wall on Lot 44 *“presents an unsafe condition for those in the yard as there is no barrier between the yard and the gap”* (see photos Q and R).

In addition to the hazards identified in the AKRF report, Earth Tech also noted:

- Areas of local collapse of the gypsum board ceiling and debris on the floor (see photos S and T);
- Insulation haphazardly hanging from ceilings (see photo U); and
- The Fire Department has shut down the building.

BUILDING CODE VIOLATIONS

Earth Tech reviewed DOB Building Information System files and confirms the AKRF report findings of four open building code violations for Lot 21. Earth Tech also found two additional violations issued subsequent to the release of the AKRF report resulting in a total of six open violations for the property to date.

The AKRF report indicated that Lot 21 had four open building code violations issued by DOB and ECB. One violation was issued in 2005 for the building's boiler. Subsequent to the AKRF report, two additional open violations for the boiler were issued, one in

January 2006 and the other in January 2007. No additional information is provided about the remaining violations in the DOB Building Information System.

UNDERUTILIZATION

There was no Underutilization section write-up completed in the AKRF report for Lot 21 but Appendix A, Table A-2 reports the site utilization data. Earth Tech confirms the AKRF utilization findings under the prior M1-2 designation including lot area (2,498-sf), maximum allowable floor area (4,996-zsf), and a 248 percent site utilization with the existing 12,400-gsf building. The site was overbuilt by 7,404-sf.

Under the new C6-1 designation (FAR 6.0) there is now a maximum allowable floor area potential of 14,988-zsf. Therefore, with an existing 12,400-gsf building, Lot 21 utilizes only 83 percent of its development potential under C6-1.

ENVIRONMENTAL ISSUES

The AKRF report indicated that a Phase I investigation was conducted on Lot 21. Hazardous material and environmental contamination issues relevant to the site were identified in the FEIS in Appendix F.1: Environmental Issues in Project Area. There was no AKRF Subsurface (Phase II) investigation conducted for this site.

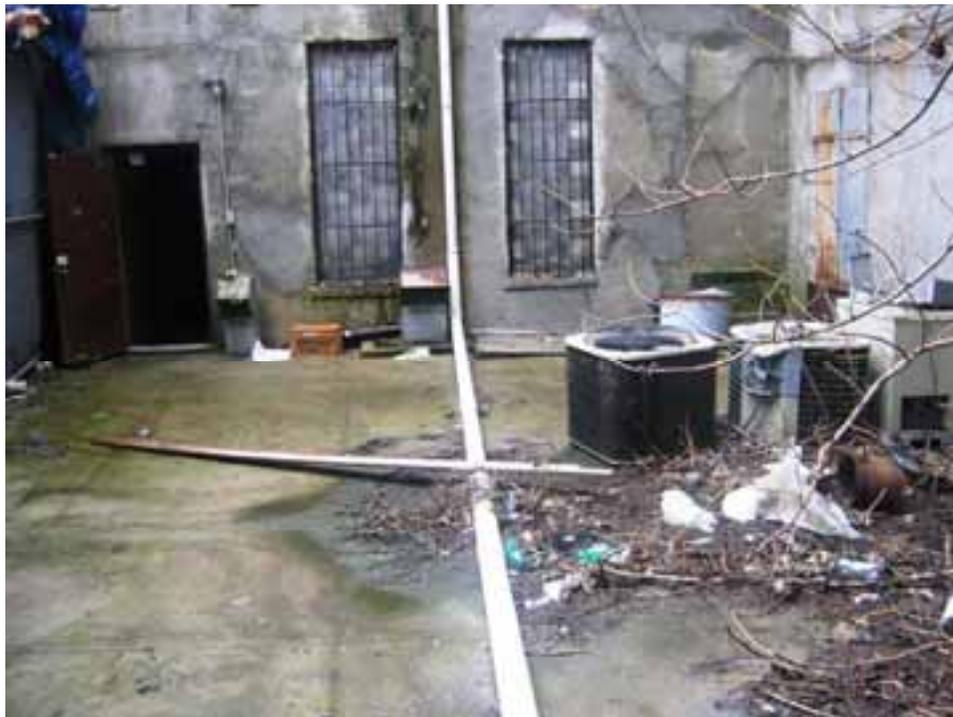
Earth Tech reviewed Appendix F.1 and confirms that most environmental issues documented in the FEIS were included in the AKRF report. Environmental issues identified by the Phase I include: former use as a warehouse, asbestos in the cellar boiler room, a cut-off vent pipe and fill, a 55-gallon drum, and a closed fuel oil AST. Additional information provided in the appendix but not included in the AKRF report includes that the site formerly maintained a fuel oil permit.

SUMMARY EVALUATION

Thornton Tomasetti evaluated the building as in poor condition, however, due to the severity of the health and safety concerns the building was evaluated by AKRF as in critical condition. Earth Tech concurs with the evaluation by AKRF and rates the site's condition critical. Despite some recent stabilization efforts, water infiltration continues into the building, with: pooled water; extensive efflorescences, mold, and water stains; and collapsed ceilings at all floors. Severely deteriorated lintels at the north wall are present around windows, and extensive cracks to walls are visible. The significant amount of mold, and debris from falling ceilings, including insulation materials present serious health and safety concerns. Earth Tech rates the site's overall condition as critical.



Photograph 1997-21-A



Photograph 1997-21-B



Photograph 1997-21-C



Photograph 1997-21-D



Photograph 1997-21-E



Photograph 1997-21-F



Photograph 1997-21-G



Photograph 1997-21-H



Photograph 1997-21-I



Photograph 1997-21-J



Photograph 1997-21-K



Photograph 1997-21-L



Photograph 1997-21-M



Photograph 1997-21-N



Photograph 1997-21-O



Photograph 1997-21-P



Photograph 1997-21-Q



Photograph 1997-21-R



Photograph 1997-21-S



Photograph 1997-21-T



Photograph 1997-21-U

3. Horizontal crack along the first floor masonry wall has not been repaired (see photos E and F).
4. Water infiltration on the east masonry wall has caused the need to remove a portion of the drywall and ceiling damage (see photos G, H and I).
5. Cracking and spalling in a few locations along the roof framing and first and second floor slabs (see photo J, K, L, M, N and O).
6. Water ponding on the roof continues to occur (see photo P).
7. Waterproof coating on the inside face of the south parapet continues to be in poor condition and allowing water infiltration through the roof (see photo Q).
8. Water intrusion along the top of the south basement wall continues to cause deterioration to steel lintels above the openings to sidewalk vaults.
9. Spalling surface and curb along the vehicular ramp from the basement to the sidewalk (see photo R).
10. The sidewalk and curb along West 130th street are in fair condition (see photos S and T).

Additionally, Earth Tech notes that:

1. The east corner of the south fascia of the building has a vertical crack at the parapet (see photos U and V).
2. The lintel above the garage entrance on the south fascia of the building seems to be sagging as evident by the gap formed with the brick facing (see photos W and X)
3. Crack in masonry wall at south west corner of building along the south elevation. (see photo Y)
4. Concrete facing on masonry wall in boiler room failed (see photos Z and AA).
5. Crack in masonry wall above door lintel (see photo AB).
6. Second floor concrete wall has a vertical crack the height from floor to ceiling (see photo AC).
7. Stay-in-place forms show signs of corrosion causing paint to chip (see photo AD and AE).
8. Chimney along east side of building has separated from the exterior wall of the adjacent building (see photo AF).
9. Beam supporting stair landing is sagging (see photo AG).

Since the previous inspection there are no significant changes in the physical conditions of the site and Earth Tech generally concurs with the assessment by Thornton Tomasetti and AKRF as to the fair condition of the site's physical and structural systems.

HEALTH AND SAFETY CONCERNS

AKRF reported “*water intrusion... along the top of the south basement wall causing deterioration to MEP and telephone equipment located along this wall – a potential fire hazard*”. Earth Tech concurs with this statement (See photo AH). As for the statement: “*electrical systems in the first floor locker room spaces appear to be unsafe in some locations*”, – Earth Tech was not able to verify this.

Additionally, Earth Tech noted that:

- At the basement level, an exit sign points up the ramp where there is no exit door, but an overhead roll-up door only. This is misleading and dangerous, and is a safety concern (see photo R).
- In the basement, a large area of cementitious wall plaster has collapsed; this is a potential health and safety concern (see photo AI).
- On the second floor, paint is peeling off the ceiling - a potential health hazard (see photo AJ and AK).

BUILDING CODE VIOLATIONS

Earth Tech reviewed DOB Building Information System files and confirms the AKRF report findings of four open building code violation for Lot 27. Earth Tech found two additional violations issued subsequent to the release of the AKRF report resulting in a total of six violations for the property to date.

The AKRF report noted that Lot 27 has four open building code violations. One violation, which was considered to be of high severity by ECB, was issued in 1999 for failure to maintain a building, referring to a broken and defective concrete ceiling with exposed reinforcing rods and steel beams in the cellar. Three violations were issued by DOB, but no information regarding the issue date or violation type is provided by the DOB Building Information System. Earth Tech found an additional DOB violation with no further information provided as well as one unknown type violation issued in 1975.

UNDERUTILIZATION

There was no Underutilization section write-up completed in the AKRF report for Lot 27 but Appendix A, Table A-2 reports the site utilization data. Subsequent to the release of the AKRF report, Lot 27 was rezoned from an M1-2 (FAR 2.0) to C6-1 (FAR 6.0) district (effective December 19, 2007). Earth Tech confirms the AKRF utilization

findings under the prior M1-2 designation, including: lot area (9,992 sf), maximum allowable floor area (19,984 zsf), and a 100 percent site utilization with the existing 19,984-gsf building.

Under the new C6-1 designation (FAR 6.0) there is now a maximum allowable floor area potential of 59,952 zsf. Therefore, with an existing 19,984-gsf building, Lot 27 utilizes 33 percent of its development potential under C6-1.

ENVIRONMENTAL ISSUES

The AKRF report indicated that a Phase I investigation was conducted on Lot 27. All hazardous material and environmental contamination issues relevant to the site should have been identified in the FEIS in Appendix F.1: Environmental Issues in Project Area. There was no Subsurface (Phase II) investigation conducted for this site.

Earth Tech reviewed Appendix F.1 and confirms that most environmental issues documented in the FEIS were included in the AKRF report. Environmental issues identified by the Phase I include: current use as garage and auto repair shop, former use as a sheet metal factory and garage, current and former gasoline USTs, fuel oil ASTs, former waste oil ASTs, a closed spill and its designation as a generator of hazardous waste. Additional information noted in the appendix but not in the AKRF report includes historical uses as electronics manufacturing, and a warehouse of unknown use. Site reconnaissance notes indicated transformer vaults along West 130th Street. The site is also listed in RCRA Info.

SUMMARY EVALUATION

AKRF reported the site as in fair condition. Earth Tech's inspection of the building confirmed most of the findings of AKRF but found that conditions have continued to deteriorate, primarily from water infiltration. The deficiencies identified in the AKRF report that Earth Tech confirmed include: signs of prolonged water infiltration; crack along the first floor masonry wall; drywall and ceiling damaged; spalling of roof framing and first and second floor slabs; roof water ponding and water infiltration through the roof; deterioration to steel lintels at sidewalk vaults; and spalled surface and curb along the vehicular ramp. Earth Tech additionally identified: a vertical crack at the parapet of the east corner of the building; sagging lintel above the garage entrance; crack in masonry wall at the south west corner; cracks in the masonry wall above door lintel, and a floor-to-ceiling crack on the second floor concrete wall; the chimney along the east side of the building has separated from the exterior wall of the adjacent building; and a sagging beam supporting the stair landing. Additional environmental concerns from the site's past uses, including garage and auto repair shop, sheet metal factory, electronics manufacturing, and former gasoline USTs add to the concerns for this site. Nonetheless, without more evidence of these potential environmental problems, Earth Tech maintains the site's overall condition rating as fair.



Photograph 1997-27-A



Photograph 1997-27-B



Photograph 1997-27-C



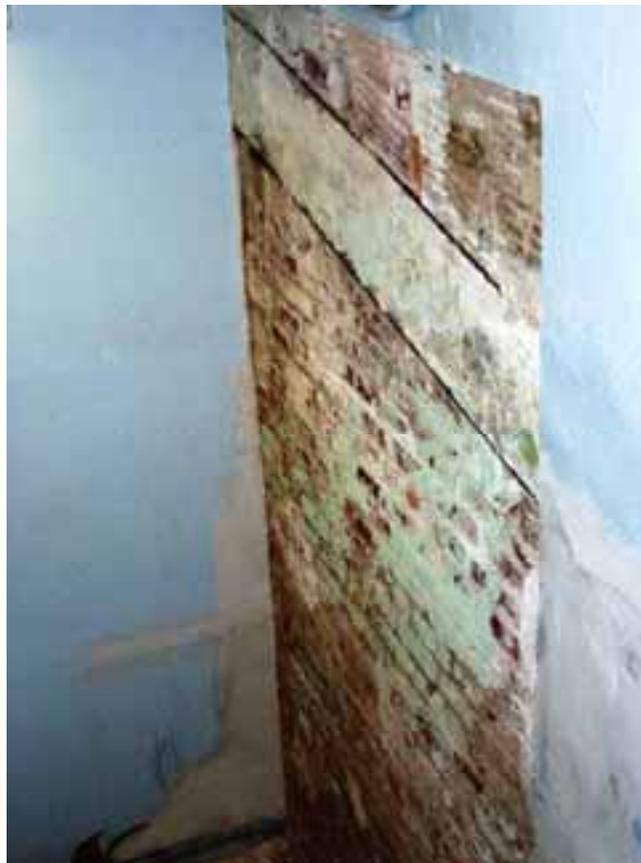
Photograph 1997-27-D



Photograph 1997-27-E



Photograph 1997-27-F



Photograph 1997-27-G



Photograph 1997-27-H



Photograph 1997-27-I



Photograph 1997-27-J



Photograph 1997-27-K



Photograph 1997-27-L



Photograph 1997-27-M



Photograph 1997-27-N



Photograph 1997-27-O



Photograph 1997-27-P



Photograph 1997-27-Q



Photograph 1997-27-R



Photograph 1997-27-S



Photograph 1997-27-T



Photograph 1997-27-U



Photograph 1997-27-V



Photograph 1997-27-W



Photograph 1997-27-X



Photograph 1997-27-Y



Photograph 1997-27-Z



Photograph 1997-27-AA



Photograph 1997-27-AB



Photograph 1997-27-AC



Photograph 1997-27-AD



Photograph 1997-27-AE



Photograph 1997-27-AF



Photograph 1997-27-AG



Photograph 1997-27-AH



Photograph 1997-27-AI



Photograph 1997-27-AJ



Photograph 1997-27-AK

SITE CONDITION: FAIR

Block 1997 Lot 29



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LOCATION, USE, ZONING, AND OWNERSHIP

Lot 29 is located at 3241 Broadway, at the corner of Broadway and West 130th Street. The 1,869-sf lot contains a predominantly two-story 3,475-gsf building housing the Iglesia el Encuentro Dios church (see photo A); and a small one-story portion is on the building's west side. According to the Department of Finance RPAD Master File, the building was constructed in 1920, with no subsequent recorded alterations. The AKRF report notes that the 1909 Sanborn map shows a building on this lot, indicating that the building was likely constructed prior to 1909. Earth Tech reviewed the NYC Department of Finance property records

and found that the site is owned by The Meeting with God Pentecostal Church. The Trustees of Columbia University are currently in contract to purchase the property. At the time of the AKRF report, Lot 29 was zoned M1-2; however, it has since been designated C6-1 as part of the Special Manhattanville Mixed Use District (MMU) rezoning (effective December 19, 2007).

PHYSICAL AND STRUCTURAL CONCERNS

As evaluated by Thornton Tomasetti, and later reported by AKRF, the exterior of the building is in fair condition due to localized structural distress and some substandard exterior and site conditions. The interior of the building was not available for inspection.

At the time this site was inspected by Earth Tech on April 17, 2008, the interior of the building was not available for inspection. No interim or permanent repairs to correct or mitigate the previously reported instances of structural damage, distress or instability were found. The deficiencies and structural damage observed by Earth Tech are consistent with the findings reported by AKRF and Thornton Tomasetti.

The east exterior wall has a wide step crack with the bricks in need of repointing (see photo B), and the rollup door has step cracks on both sides of its lintel (see photo C). The south east corner of the building has vertical and horizontal cracks, and signs of paint deterioration (see photos A, D and E). The south exterior wall is in need of brick repointing (see photo F). The west exterior wall has wide random cracking typically around the windows (see photo G). The cornice at the south west corner appears to be

damaged (see photos H and I). The sidewalks are in fair to poor condition as a result of random cracks and a severe spall at one location (see photos J and K).

Since the previous inspection there are no significant changes in the physical condition of the building and Earth Tech concurs with the assessment by Thornton Tomasetti and AKRF as to the building being in fair condition.

HEALTH AND SAFETY CONCERNS

The property was available for exterior survey only; the property was observed from the sidewalk and the roof of a neighboring building.

The AKRF report did not list any health and safety concerns for this building, except for the poor condition of the sidewalk on Broadway. Earth Tech's observations confirmed the condition of the sidewalks and curbs (see photos A, L and M). However, Earth Tech notes that, at one location on Broadway, the sidewalk is in critical condition with excessive spalling concrete, which is a safety concern for pedestrians (see photos N and J).

In addition, Earth Tech notes that the cornice at the building's southwest corner exhibits the signs of severe corrosion and deterioration; further deterioration may lead to a structural collapse, which is a safety concern for pedestrians (see photo O).

BUILDING CODE VIOLATIONS

Earth Tech checked DOB Building Information System files and confirms the AKRF report findings of no open building code violations for Lot 29. Earth Tech found no additional open violations subsequent to the release of the AKRF report.

UNDERUTILIZATION

There was no Underutilization section write-up completed in the AKRF report for Lot 29 but Appendix A Table A-2 reports the site utilization data. Subsequent to the release of the AKRF report, Lot 29 was rezoned from an M1-2 (FAR 2.0) to C6-1 (FAR 6.0) district (effective December 19, 2007). Earth Tech confirms the AKRF utilization findings under the prior M1-2 designation including lot area (1,869 sf), maximum allowable floor area (3,738 zsf), and a 93 percent site utilization with the existing 3,475-gsf building.

Under the new C6-1 designation (FAR 6.0) there is now a maximum allowable floor area potential of 11,214 zsf. Therefore, with an existing 3,475-gsf building, Lot 29 utilizes only 31 percent of its development potential under C6-1.

ENVIRONMENTAL ISSUES

The AKRF report indicated that no Phase I or II investigations were conducted on Lot 29. However, all environmental issues identified by the area-wide PESA should have been identified in the FEIS Appendix F.1: Environmental Issues in Project Area.

Earth Tech reviewed Appendix F.1 and confirms that most environmental issues documented in the FEIS were included in the AKRF report. Environmental issues identified by the PESA include: auto sales (and possibly repair) facility, and former and current fuel oil storage. Additional issues not mentioned in the AKRF report include fill and vent lines reported on site as well as reconnaissance notes indicating two fuel oil ASTs. The site is currently used as a church.

SUMMARY EVALUATION

Earth Tech's exterior inspection of this site confirmed the deficiencies noted by AKRF and Thornton Tomasetti and generally concurs with the rating of this building as in fair condition. However, there are cracks in the building walls, evidence of the need for re-pointing, and the cornice at the south west corner appears to be damaged, presenting a potential hazard to pedestrians. Sidewalks are in fair to poor condition. Earth Tech maintains the site's overall condition rating as fair.



Photograph 1997-29-A



Photograph 1997-29-B



Photograph 1997-29-C



Photograph 1997-29-D



Photograph 1997-29-E



Photograph 1997-29-F



Photograph 1997-29-G



Photograph 1997-29-H



Photograph 1997-29-I



Photograph 1997-29-J



Photograph 1997-29-K



Photograph 1997-29-L



Photograph 1997-29-M



Photograph 1997-29-N



Photograph 1997-29-O

SITE CONDITION: FAIR

Block 1997 Lot 30



Source: MapPluto copyrighted by the New York City Department of City Planning, 2007

LOCATION, USE, ZONING, AND OWNERSHIP

Lot 30 is located at 3247 Broadway between West 130th and 131st Streets. The 5,625-sf lot contains a ten-story 62,200-gsf warehouse building occupied by a moving and storage company (see photo A). According to the Department of Finance RPAD Master File, the building was constructed in 1930 with no subsequent alterations recorded. Earth Tech reviewed the NYC Department of Finance Automated City Register Information System (ACRIS) and found that J.P.Z. Realty, LLC acquired the property in 1997. The lot is now in contract to purchase by The Trustees of Columbia University. At the time of the AKRF report, Lot 30 was

zoned M1-2; however it has since been designated C6-1 as part of the Special Manhattanville Mixed Use District (MMU) rezoning (effective December 19, 2007).

PHYSICAL AND STRUCTURAL CONCERNS

As evaluated by Thornton Tomasetti, and later reported by AKRF, the exterior of the building is in fair condition due to some substandard exterior and site conditions. The buildings interior was not accessible for inspection.

At the time this site was inspected by Earth Tech on April 17, 2008, the building exterior was only available for inspection. Minor repairs to correct or mitigate some of the previously reported instances of structural damage, distress or instability were found. The deficiencies and structural damage observed by Earth Tech are generally consistent with the findings reported by AKRF and Thornton Tomasetti.

The rollup doors, windows and the wall at the east exterior appear to be in good condition (see photos B and C). The west exterior wall is generally weathered (see photo D), and has a wide vertical crack at the south corner (see Photo E). The fire escape on the building's east façade is in fair condition with minor rusting (see photo F). The sidewalk is in poor condition (see photos F and G).

Since the previous inspection there are no significant changes in the physical condition of the building and Earth Tech concurs with the assessment by Thornton Tomasetti and AKRF as to the building being in fair condition.

HEALTH AND SAFETY CONCERNS

The property was available for exterior survey only; the property was observed from the sidewalk and the roof of a neighboring building.

The AKRF report did not list any health and safety concerns for this building, except for the poor condition of the sidewalk on Broadway. Earth Tech concurs with the AKRF evaluation of sidewalks and curbs (see photos G and H).

BUILDING CODE VIOLATIONS

Earth Tech reviewed DOB Building Information System files and confirms the AKRF report findings of three open building code violations for Lot 30. Earth Tech also found two additional open violations subsequent to the release of the AKRF report, resulting in a total of five open violations for the property to date.

Lot 30 has five open building code violations issued by DOB. Two violations, dated 2004, cite the building's elevator. Earth Tech found two additional DOB violations issued for the elevator in October 2006, subsequent to the release of the AKRF report. One violation, dated 1996, cites construction. No further information is available from the DOB Building Information System.

UNDERUTILIZATION

There was no Underutilization section write-up completed in the AKRF report for Lot 30 but Appendix A Table A-2 reports the site utilization data. Subsequent to the release of the AKRF report, Lot 30 was rezoned from an M1-2 (FAR 2.0) to C6-1 (FAR 6.0) district (effective December 19, 2007). Earth Tech confirms the AKRF utilization findings under the prior M1-2 designation including lot area (5,625 sf), maximum allowable floor area (11,250 zsf), and a 553 percent site utilization with the existing 62,200-gsf building. The site is overbuilt by 50,950 sf.

Under the new C6-1 designation (FAR 6.0) there is now a maximum allowable floor area potential of 33,750 zsf. Therefore, with an existing 62,200-gsf building, Lot 30 remains overbuilt utilizing 184 percent of its development potential under C6-1.

ENVIRONMENTAL ISSUES

The AKRF report indicated that no Phase I or II investigations were conducted on Lot 30. However, all environmental issues identified by the area-wide PESA should have been identified in the FEIS Appendix F.1: Environmental Issues in Project Area.

Earth Tech reviewed Appendix F.1 and confirms that most environmental issues documented in the FEIS were included in the AKRF report. Environmental issues identified by the PESA include: former use as a garage, a gasoline UST, and a fuel oil

storage tank. Additional issues that were not mentioned in the AKRF report include a historic use for auto sales. Site reconnaissance notes indicated inactive fuel oil ASTs were observed on site.

SUMMARY EVALUATION

Earth Tech's exterior inspection of this ten-story building concurs with that of Thornton Tomasetti and AKRF that the rate the site as in fair overall condition. Minor repairs to correct or mitigate some of the previously reported instances of structural damage, distress or instability were found, however the deficiencies include a weathered west wall with a wide vertical crack at the south corner and a sidewalk in poor condition; and additional building code violations were identified by Earth Tech. However, there appear to be no significant changes in the physical condition of the building and Earth Tech maintains the overall site condition as in fair condition.



Photograph 1997-30-A



Photograph 1997-30-B



Photograph 1997-30-C



Photograph 1997-30-D



Photograph 1997-30-E



Photograph 1997-30-F



Photograph 1997-30-G



Photograph 1997-30-H